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Warren, NJ 07059

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November 25, 2024

Township of Verona
Zoning Department
880 Bloomfield Avenue
Verona, NJ 07044

VIA HAND DELIVERY ONLY

RE: Wedgewood Gardens Condominium Association – Wedgewood Drive, Verona, New Jersey
Tree Removal Permit Submission

Y:\Clients\Falcon2010\10-243\007_Tree Planting Plan\Documents\Township Submission\L241125 - Application Submission.docx

To Whom It May Concern:

Thank you for accepting this application for tree removals and replacements within the subject community. In addition to this letter, please find enclosed:

- One (1) complete set of Construction Plans and Details for the Tree Removals and Replacements
- Completed ZR-07 Tree Removal Permit Application for Residential Properties
- Completed Planning Board Tree Protection, Removal, and Replacement Application
- Letter from Barlett Tree Experts with Map and Chart of Trees

The plans include an existing Boundary and Location Plan, with all trees located on property. It also includes a Tree Removal Plan showing the proposed tree removals (Labeled 1-38 and 46-50, forty-three (43) total) and accompanying removal chart as well as a Tree Replacement Plan showing the proposed tree replacements and Planting Schedule. The Detail Sheet is also included which shows the Existing Tree List, a list of Dead and/or Poor Trees (as provided by Bartlett Tree Experts), as well as a Tree Planting Detail.

We ask that the Township consider waiving the requirement for a steep slope plan be waived for several factors including the following:

1. The limited topographical survey points and contours of the survey.
2. The total anticipated disturbance required for tree removals compared to the overall size of the site (8.1164 acres) can be considered de-minimus.
3. Most tree removals (thirty-six out of forty-three (36/43)) occur greater than seventy-five (75') feet from any adjacent property.

We hope this provides you with sufficient information. Should you have any questions or concerns, please feel free to contact our office.

Sincerely,

Dennis Donatelli (jc)

Dennis Donatelli, P.E.
Division Manager of Civil Engineering

DD/jc





BARTLETT TREE EXPERTS

98 FORD ROAD, SUITE 3C, DENVILLE NJ 07834 • (973) 983-1840 • FAX (973) 983-1863

6/19/2024

Engineering / Zoning Office
Township of Verona
880 Bloomfield Ave
Verona NJ 07044

To Whom it may concern:

I am writing per the tree permit ordinance to verify that 6 trees associated with the attached tree removal permit application meet the criteria as dead, diseased, or other criteria as indicated below.

Please refer to the attached map and attached chart. Trees listed with the condition of "Poor" on the Map (red dots) are requested to be removed. There are 22 trees to be removed for a paving project.

Tree numbers 48, 49 & 50 are all dead trunks. Trees number 38 and 47 have been topped, have poor structure and are going into primary wires. Tree number 46 is an invasive species (Norway Maple) and has decay on the trunk.

The remaining 16 trees are living and healthy but need to be removed because the paving contractor needs to dig up to 2' in past the existing curbing to put footings for new curbing. There are 15 Honey Locust with an average diameter of 17". There is one Catalpa with a diameter of approx. 24".

The community will replace trees as per your direction and interpretation of the code and its application to this site and situation.

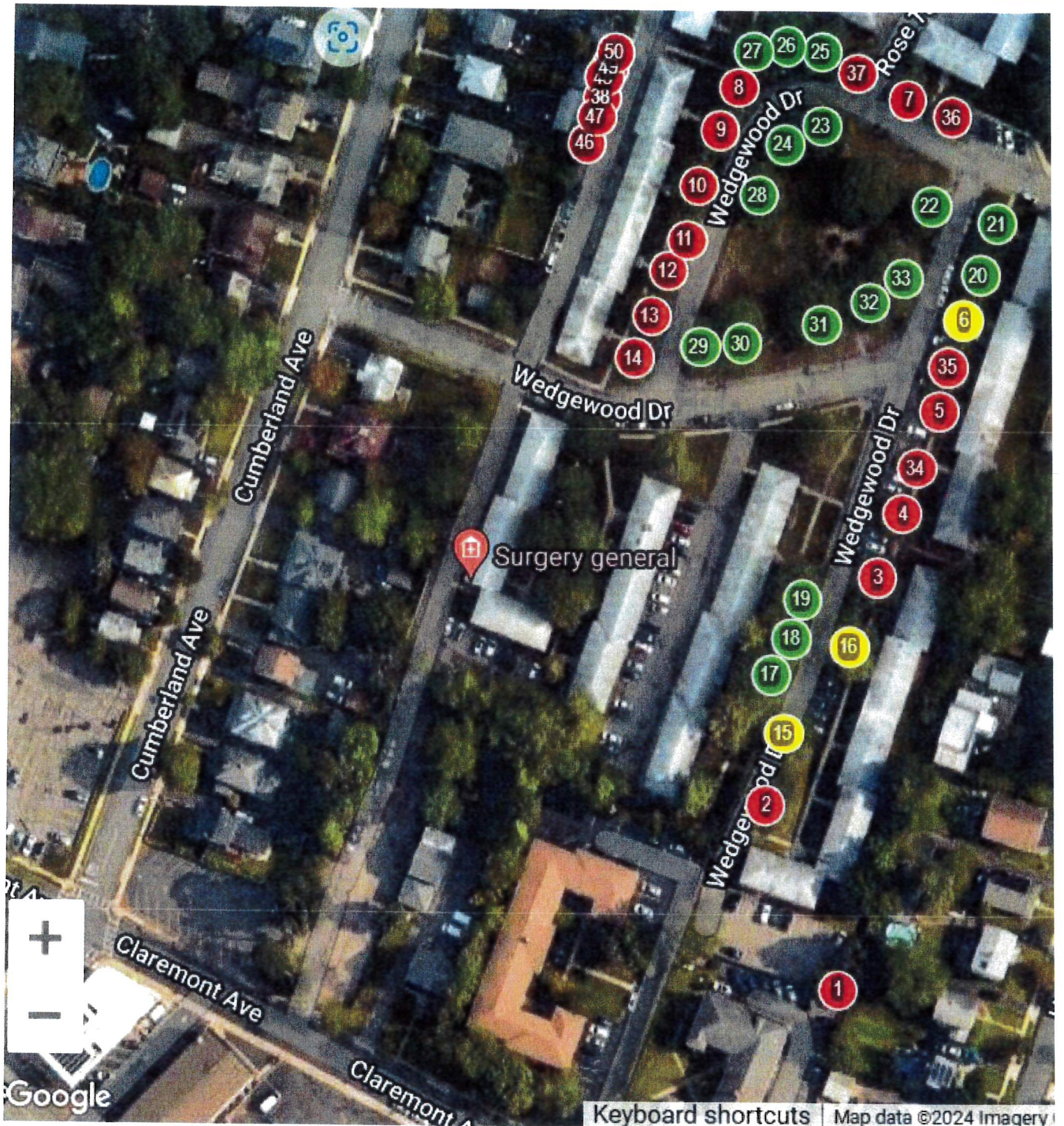
Should you have any questions about my assessment or recommendations, feel free to contact me via phone (201.396.5666) or email (mfalciola@bartlett.com)

Respectfully,

Michael Falciola

Tree ID	Diameter	Common Name	Scientific Name	Condition Class	Reason for removal
1	26	Catalpa Northern	Catalpa speciosa	Poor	Paving. Excavation to close to root zone for curbing replacement
2	17	Honeylocust	Gleditsia triacanthos	Poor	Paving. Excavation to close to root zone for curbing replacement
3	17	Honeylocust	Gleditsia triacanthos	Poor	Paving. Excavation to close to root zone for curbing replacement
4	17	Honeylocust	Gleditsia triacanthos	Poor	Paving. Excavation to close to root zone for curbing replacement
5	17	Honeylocust	Gleditsia triacanthos	Poor	Paving. Excavation to close to root zone for curbing replacement
7	17	Honeylocust	Gleditsia triacanthos	Poor	Paving. Excavation to close to root zone for curbing replacement
8	17	Honeylocust	Gleditsia triacanthos	Poor	Paving. Excavation to close to root zone for curbing replacement
9	17	Honeylocust	Gleditsia triacanthos	Poor	Paving. Excavation to close to root zone for curbing replacement
10	17	Honeylocust	Gleditsia triacanthos	Poor	Paving. Excavation to close to root zone for curbing replacement
11	17	Honeylocust	Gleditsia triacanthos	Poor	Paving. Excavation to close to root zone for curbing replacement
12	17	Honeylocust	Gleditsia triacanthos	Poor	Paving. Excavation to close to root zone for curbing replacement
13	17	Honeylocust	Gleditsia triacanthos	Poor	Paving. Excavation to close to root zone for curbing replacement
14	17	Honeylocust	Gleditsia triacanthos	Poor	Paving. Excavation to close to root zone for curbing replacement
34	17	Honeylocust	Gleditsia triacanthos	Poor	Paving. Excavation to close to root zone for curbing replacement
35	17	Honeylocust	Gleditsia triacanthos	Poor	Paving. Excavation to close to root zone for curbing replacement

36	17 Honeylocust	Gleditsia triacanthos	Poor	Paving. Excavation to close to root zone for curbing replacement
37	17 Honeylocust	Gleditsia triacanthos	Poor	Paving. Excavation to close to root zone for curbing replacement
38	26 Planetree-London	Platanus x hispanica	Poor	Tree has been topped. It is in electrical wires. Excavation near root zone
46	10 Maple-Norway	Acer platanoides	Poor	Tree has decay on lower trunk. Invasive tree. Excavation too close to root zone
47	14 Walnut-Black	Juglans nigra	Poor	Tree has been topped. It is in electrical wires. Excavation near root zone
48	28 Oak-Northern Red	Quercus rubra	Poor	Dead trunk
49	28 Ash-White	Fraxinus americana	Poor	Dead trunk
50	15 Maple-Red	Acer rubrum	Poor	Dead trunk



Condition: ● Good ● Fair ● Poor

MAYOR
CHRISTOPHER H. TAMBURRO
DEPUTY MAYOR
JACK McEVOY
COUNCIL MEMBERS
CYNTHIA L. M. HOLLAND
CHRISTINE McGRATH
ALEX ROMAN

TOWNSHIP OF VERONA
COUNTY OF ESSEX, NEW JERSEY



TOWNSHIP MANAGER
JOSEPH O. D'ARCO
TOWNSHIP DEPUTY MANAGER
KEVIN O'SULLIVAN
TOWNSHIP CLERK
JENNIFER KIERNAN
TOWNSHIP ATTORNEY
BRIAN J. ALOIA, ESQ.

VERONA COMMUNITY CENTER
880 BLOOMFIELD AVENUE
VERONA, NEW JERSEY 07044

MUNICIPAL BUILDING
600 BLOOMFIELD AVENUE
VERONA, NEW JERSEY 07044
(973) 239-3220
WWW.VERONANJ.ORG

DEPARTMENT OF PUBLIC WORKS
10 COMMERCE COURT
VERONA, NEW JERSEY 07044

Verona Planning Board Application No. 2025-02

Tree Permit no. _____

PLANNING BOARD TREE PROTECTION, REMOVAL and REPLACEMENT APPLICATION

- Date of Application 11/14/2024
- Name and Address of the owner of the property from which trees are to be removed:
Wedgewood Gardens CA
C/o Mr. Armen Tagmizyan
Name: Cedarcrest Property Management Phone #1: 973-228-5477 Ext. 150
Address: 91 Clinton Road, Suite 2D Phone#2: _____
Fairfield, NJ 07004 Email: armen@cedarcrestpm.com
Email: _____
- Tax Block No: 1712 Tax Lot No (s): 1
- Number of Trees requested for removal: 22
- Reason for removal: Curb replacement and paving and diseased/dead

- Type of Construction Proposed (if any):
Curb Replacement and Paving

- Tree Removal Contractor Name (s), Address, Phone, Email:
Bartlett Tree Experts - Mr. Michael Falciola - Arborist
98 Ford Road, Suite 36, Denville, NJ 07834
P: 201-396-5666 Email: mfalciola@bartlett.com
- Tree Removal Contractor's [NJ Board of Tree Experts License](#) Information:
License Type(s) and License No:

LTCO License No: _____ LTE License No: _____

9. Is your Tree Removal Contractor currently registered with the Township of Verona?

Yes

No

*All Tree contractors must be registered with the Township.

10. Does the site contain any environmentally sensitive areas including but not limited to:

Floodplains Riparian Zones Streams Brooks

Swales Wetlands or Wetland Transition Areas

Steep Slopes; Please refer to [§150 Article XXIII Steep Slopes](#) for applicability and information

11. TREE Plan Submission Requirements:

Tree removal plans requires submission of the following:

A. TREE REMOVAL PLANS: Site plans drawn to scale that includes the following information

- 1) The shape and dimension of the lot(s)/parcel(s), including the location of all easements
- 2) The limits of all existing and proposed tree line limits
- 3) A list of the number, species and DPMs of all trees on the property.

4) Location of all environmentally sensitive areas including but not limited to floodplains, riparian zones, steep slopes, transition zones, and wetlands.

5) The identification and location of all trees to be removed, specifically by an assigned number, with accompanying table of species and DPM (diameter at point of measurement) for each tree. The table shall include calculations of required replacements, as per [§493-28](#).

6) The location of all existing and proposed structures on the property, along with the distance that the trees proposed to be removed, are located from such structures and property lines. This includes all new impervious surface planned on the site. A reproduction of the Tax Map or an existing survey, modified to provide this information would be acceptable.

In the event that more than 400 square feet of new impervious surface area is planned, the applicant must file a Stormwater Application for Minor Developments; for more than 5,000 square feet of new impervious surface, the Applicant must file a Stormwater Application for a Major Development.

7) Any other information which may reasonably be required to enable the application to be evaluated, including but not limited to a description of the purpose for which this application is to be made and how remaining trees will be protected during construction.

8) *Tree removal and replacement plan shall include specific information regarding the disposal of the removed trees in a manner to avoid spreading disease or pests harbored in the wood if such conditions are present.

B. TREE REPLACEMENT PLANS: Site plans drawn to scale that includes the following information:

1) A tree replacement plan showing the location of all trees to be planted, specifically by number, and an accompanying table listing the species of such trees, their caliper or size as required. *Mitigation plans may require replacement of more trees than are planned for removal as per [§493-28](#).

2) Number of Trees being replanted on Applicant's property 40

3) Planned date of replanting: Fall 2025

4) Tree Replanting Contractor/Landscape Architect Name(s), Address, Phone, Email:
Root Landscape Architecture - Mr. Benjamin Ross Heller, Landscape Architect
105 Dean Road, Mendham, NJ 07945
P: 973-688-1053 Email: rootlandarch@gmail.com

5) In lieu of Replanting any required trees on Applicant's Property, a written explanation shall be provided for Planning Board Review, as well as a check in the amount of:
\$ made payable to the Township of Verona Tree Replacement Fund as permitted under [§493-28](#) and [§493-29](#).

12. Application Fees: See [§A565-1](#) for Site Plan Fees and any other fees that may apply

13. Tree Removal and Replacement Permit Fees: See [§A-565-1](#) (§ 493)

14. Tree Removal Permit [Application](#).

15. Performance Bond Whenever trees are replaced pursuant to § 493 , the applicant shall post with the Township Clerk a performance bond for one year in an amount to be determined by the Township, but in no event to exceed the amount per tree specified in Chapter §A175 of the Municipal Code. The performance bond may be either in the form of a cashiers' check or certified check made payable to the Township or in the form of a corporate surety performance bond issued by a New Jersey corporation. No performance bond shall be released except on certification of the Zoning Official that the replacement tree(s) remain healthy one year after planting. If they are found at that time by Zoning Official or its agents to be healthy and capable of surviving, and other performance requirements have been met, then the Zoning Official shall order the bond returned. If any trees are not at that point healthy, the tree(s) shall be replaced.

16. Performance Bond submitted: Yes No

Bond No. _____ Amount \$ _____

17. Certification

I certify that the answers to the above-referenced questions and any statements made on this application and survey/plot plan are true and complete to the best of my knowledge. I understand that this permit does not exempt bearer of responsibility to secure a Building Permit, Engineering Permits, or other permits as required by municipal, county, state or federal agencies. Any incorrect or falsified information will render this application and any approvals based on it void. Any changes to this approval or plans must be resubmitted for review prior to the installation.

_____ 11/14/2024

Applicant Signature Date

_____ 11/14/2024

Owner Signature Date

*****For Office Use Only*****

Permit No. _____ Fee Calculation: Permit Fee \$ _____

Date Issued: _____ Renewal Fee \$ _____

Date Completed: _____ Tree Replacement Fund Fee \$ _____

Initial Site Inspection: _____ Received By _____

Final Site Inspection: _____

Notes:



Township of Verona Tree Removal Permit Application For Residential Properties

Zoning Department
880 Bloomfield Ave
Verona, NJ 07044
Phone (973) 857-4772

Property Information (Location of Tree Removal)

Block No: 1712 Lot No: 1 Lot Area: 353,552 Sq.Ft. Zone District: A-1 (Low Rise)
Street Address: 1 Wedgewood Drive, Verona, NJ 07044

Tree Removal Company (Copy of Tree Removal Companies Insurance Policy Required)

Company Name: Bartlett Tree Experts - Mr. Michael Falcicola - Arborist
Street Address: 98 Ford Road, Suite 36 Town: Denville State: NJ Zip: 07834
Contact Information: Phone No. 201-396-5666 Email: mfalcicola@bartlett.com

Property Owner Information

Name of Owner: Wedgewood Gardens CA - C/o Mr. Armen Tagmizyan, Cedarcrest Property Management
Street Address: 91 Clinton Road, Suite 2D Town: Fairfield State: NJ Zip: 07004
Contact Information: Phone No. 973-228-5477 Ext. 150 Email: armen@cedarcrestpm.com

Removal of Live, Healthy Trees – Six (6) inches in diameter or greater

Number of live trees requested for removal 27 (Maximum of two (2) live, healthy trees per year)
Tree No. 1: Species See attached letter Diameter: _____
Tree No. 2: Species See attached letter Diameter: _____

Removal of Dead, Diseased, Damaged Trees – Six (6) inches in diameter or greater

Number of Dead, Diseased, Damaged or Dangerous Trees requested for removal 23
Tree No. 1: Species See attached letter Diameter: _____ Reason for Removal: _____
Tree No. 2: Species See attached letter Diameter: _____ Reason for Removal: _____
Tree No. 3: Species See attached letter Diameter: _____ Reason for Removal: _____
Tree No. 4: Species See attached letter Diameter: _____ Reason for Removal: _____

Removal of Live, Healthy Trees (Fees and Mitigation)

Application Fee \$50.00 (Non Refundable)
Mitigation Fee(s) \$400.00 per tree (See Chart)

If a resident seeks removal of a live, healthy tree they have one of two choices.

- They can either replant the number of trees required based on the size of the tree(s) removed (See Chart) and pay the mitigation fee per tree for one year, which will be held by the Township as a bond for one year. After one year of the tree(s) being replanted and thriving the “Mitigation Fees” shall be returned to the resident. OR;
- They can pay a fee to the Townships Tree Replacement Fund. (Non Refundable) based on the size of the tree(s) removed (See Chart) and choose to not replant any trees.

Removal of Dead, Diseased, Damaged Trees

Applications which involve a dead, diseased or damaged tree and are verified by a licensed tree expert do not require any fees. The application fee and all mitigation fees are waived. A letter from a licensed tree expert in good standing by the State of NJ Board of Tree Experts MUST be submitted at the time of the application.

Tree Mitigation Chart

Tree to be removed (diameter)	Equivalent No. Trees	Fees calculated (Application : Mitigation)
6 inches to 15 inches	1 Replacement Tree	\$50.00 + \$400.00 (\$400.00 x 1)
16 inches to 23 inches	2 Replacement Trees	\$50.00 + \$800.00 (\$400.00 x 2)
24 inches and greater	4 Replacement Trees	\$50.00 + \$1,600.00 (\$400.00 x 4)

Note: Trees in excess of 36 inches in diameter are considered to be extraordinary trees and shall require approval by the zoning official and the Mayor and Council prior to removal.

Please submit two separate checks payable to the Township of Verona. One for the application Fee and the other for the mitigation fee (Tree Replacement Fund) and or bond for one year.

Mitigation Method

I _____ print name _____ (owner), understand that I have chosen to seek the removal of 27 (No.) of

live, healthy trees as described within the Township of Verona's Tree Removal and Protection Ordinance, I

understand that removal of a live, healthy tree requires a mitigation choice. I hereby choose to:

Not replant and will submit the fees as outlined and understand that said fees are non-refundable.

Replant the required number of trees as outlined and understand that said fees shall be held by the Township for a period of one year. It is the responsibility of the homeowner to notify the zoning official at the time of replanting and again for the one year re-inspection for the return of the cash bond.

Donna _____ 11/14/24
 Signature of Owner – Applicant Date:

Tree Removal Permit No:
 2024 - _____

For Office Use Only	
Approved by: _____	Date _____
Denied by: _____	Date _____
Reason for Denial: _____	

For Office Use Only	
Fees Collected:	
Application Fee: \$ _____	Check No. _____
Mitigation Fee: \$ _____	Check No. _____
Date of Replanting: _____	
Date of Re-Inspection: _____	

WEDGEWOOD GARDENS CONDOMINIUM ASSOCIATION

VERONA, NEW JERSEY

LOT: 1

BLOCK: 1712

Tree Replacement Plan

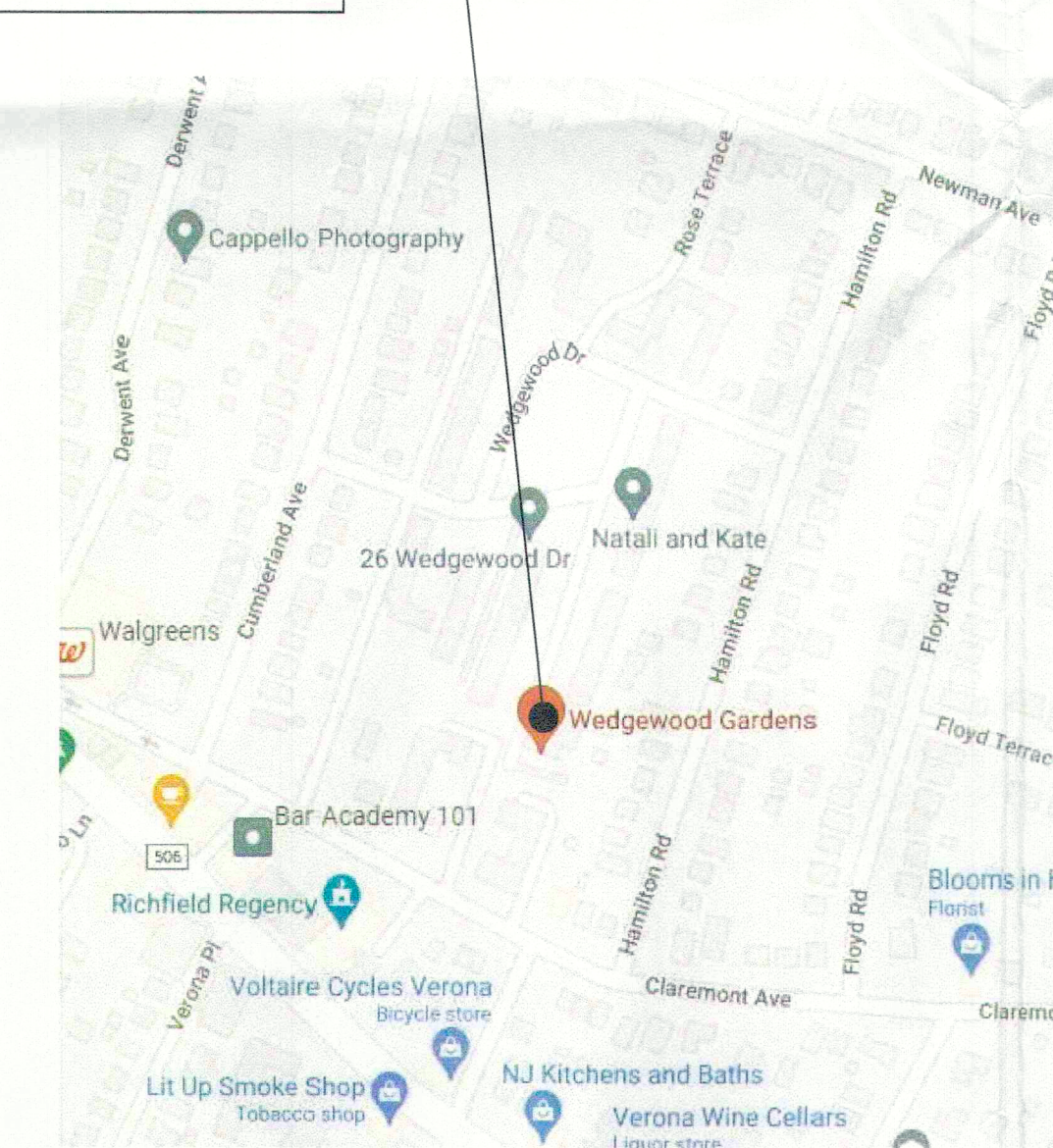
Index of Pages

Sheet Number	Description	Dated	Revised
Sheet 1	Cover Sheet	November 14, 2024	
Sheet 2	Existing Boundary and Location Survey	November 14, 2024	
Sheet 3	Tree Removal Plan	November 14, 2024	
Sheet 4	Tree Replacement Plan	November 14, 2024	
Sheet 5	Tree Planting Details	November 14, 2024	

CONSTRUCTION NOTES:

- UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE AND NOT COMPLETE AND LOCATIONS HAVE NOT BEEN VERIFIED. ADJUSTMENTS TO PROPOSED WORK MAY NEED TO BE MADE IF CONFLICTS EXIST. NOTIFY ENGINEER IMMEDIATELY IF CONFLICTS EXIST. CONTRACTOR IS RESPONSIBLE FOR LOCATION, PROTECTION, AND RELOCATION OF ALL UNDERGROUND UTILITIES INCLUDING SPRINKLERS AND PRIVATE UTILITIES AS REQUIRED TO COMPLETE WORK.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL APPLICABLE PERMITS AND ANY FEES ASSOCIATED WITH SAME SHALL BE PAID BY THE ASSOCIATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PUMPING AND DRAINAGE OF TRENCHES THAT MAY BE REQUIRED TO COMPLETE WORK.
- CONTRACTOR SHALL BE RESPONSIBLE TO SECURE AND BARRICADE WORK(S) AREA(S) AT THE COMPLETION OF EACH DAY TO THE SATISFACTION OF THE ENGINEER.
- OWNER SHALL MAKE AVAILABLE AN ON-SITE AREA FOR THE STOCKPILE OF EQUIPMENT AND SUPPLIES. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AND SAFETY OF THIS AREA EACH DAY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF EXISTING BUILDINGS AND LANDSCAPING AS NEEDED TO COMPLETE WORK.
- ALL AREAS OF DISTURBANCE SHALL BE TOPSOILED AND SEEDED AS DIRECTED BY ENGINEER.
- ALL UNUSED EXCAVATED SOIL AND MATERIALS SHALL BE REMOVED FROM SITE AND PROPERLY DISPOSED.
- NO VEHICLES SHALL BE STORED IN ROADWAYS WITHOUT OWNER'S APPROVAL.
- CONTRACTOR SHALL CLEAN PARKING AREAS AND/OR ROADWAYS EACH DAY OR AS REQUIRED.
- CONTRACTOR SHALL PROVIDE TEMPORARY TOILET FACILITIES FOR DURATION OF WORK IN APPROVED LOCATION.
- ALL PROPOSED WORK SUBJECT TO ALL LOCAL, STATE, AND FEDERAL APPROVALS PRIOR TO START OF WORK.
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH CONTRACT PLANS AND SPECIFICATIONS OR NJDOT SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. CONTRACTOR RESPONSIBLE FOR ADHERENCE TO SAME, AS CURRENTLY AMENDED AND ALL LOCAL ORDINANCES AND REQUIREMENTS.
- FALCON ENGINEERING AND THE ASSOCIATION SHALL NOT BE HELD RESPONSIBLE FOR INSPECTION OR IMPLEMENTATION OF JOB SAFETY REQUIREMENTS. CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL SAFETY REQUIREMENTS INCLUDING STRICT ADHERENCE TO OSHA REQUIREMENTS.
- CONTRACTOR RESPONSIBLE TO CLEAN ALL AREAS FROM DIRT AND/OR DEBRIS AS NEEDED.

PROJECT LOCATION



VICINITY MAP

SCALE: N.T.S.

THE
FALCON
GROUP

ENGINEERING, ARCHITECTURE
& ENERGY CONSULTANTS

NJ • NY • PA • CT • DC •
MD • VA • DE • FL

66 York Street, 4th Floor
Jersey City, NJ 07302
Phone: 908-595-0050
Fax: 908-595-0012

COA# 24GA28083800

THIS PLAN IS NOT VALID UNLESS IT CONTAINS
AN ORIGINAL SIGNATURE BY AN ENGINEER
AND CONTAINS A PROFESSIONAL SEAL.

DESIGN IS SCHEMATIC, CONTRACTOR SHALL BE
SOLELY RESPONSIBLE TO VERIFY ALL EXISTING
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DRAFTED BY: DJD PROJECT #: 10-243-007

REVIEWED BY: DC SCALE: AS NOTED SHEET SIZE: 24"x36"

INIT.	NO.	DATE	ISSUED
DJD	1	11/14/24	COMPLETENESS REVIEW

INIT.	NO.	DATE	ISSUED

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Title Sheet

Wedgewood Gardens CA
Tree Planting Plan
Verona, New Jersey

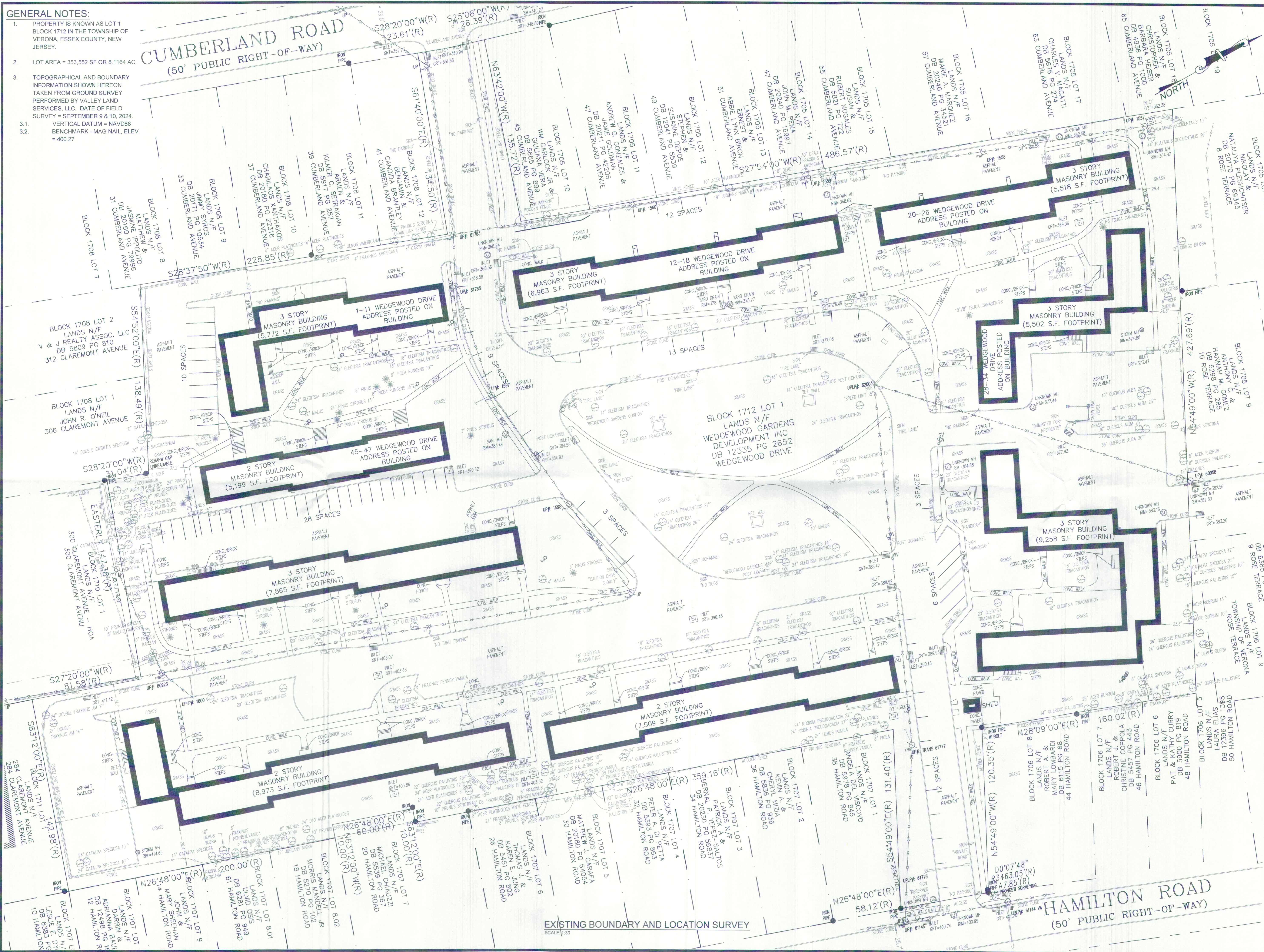
T-1

SHEET 1 OF 5

SHEET 1 OF 5

GENERAL NOTES:

- PROPERTY IS KNOWN AS LOT 1 BLOCK 1712 IN THE TOWNSHIP OF VERONA, ESSEX COUNTY, NEW JERSEY.
- LOT AREA = 353,552 SF OR 8.1164 AC.
- TOPOGRAPHICAL AND BOUNDARY INFORMATION SHOWN HEREON TAKEN FROM GROUND SURVEY PERFORMED BY VALLEY LAND SERVICES, LLC. DATE OF FIELD SURVEY = SEPTEMBER 9 & 10, 2024.
- VERTICAL DATUM = NAVD88
- BENCHMARK - MAG NAIL, ELEV. = 400.27



EXISTING BOUNDARY AND LOCATION SURVEY

SCALE: 1"=30'

THE FALCON GROUP

ENGINEERING, ARCHITECTURE & ENERGY CONSULTANTS

NJ • NY • PA • CT • DC • MD • VA • DE • FL

66 York Street, 4th Floor
Jersey City, NJ 07302
Phone: 908-595-0050
Fax: 908-595-0012

COAH # 24GA28083800

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DESIGN IS SCHEMATIC. CONTRACTOR SHALL BE SOLELY RESPONSIBLE TO VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS.

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DRAFTED BY: DJD PROJECT #: 10-243-007

REVIEWED BY: DC SCALE: AS NOTED SHEET SIZE: 24"x36"

INIT.	NO.	DATE	ISSUED
DJD	1	11/14/24	COMPLETENESS REVIEW

INIT.	NO.	DATE	ISSUED
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CONSULTANT: BENJAMIN ROSS HELLER

Landscape Architect
Root Landscape Architecture
Lic. #: 21AS00124600
COAH #: MH000157

DENNIS DONATELLI
Professional Engineer NJ: #24GE05958100

Existing Boundary and Location Survey

Wedgewood Gardens CA
Tree Planting Plan
Verona, New Jersey

C-1

THIS PLAN IS NOT VALID UNLESS IT CONTAINS AN ORIGINAL SIGNATURE BY AN ENGINEER AND CONTAINS A PROFESSIONAL SEAL.

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LEGEND:

EXISTING

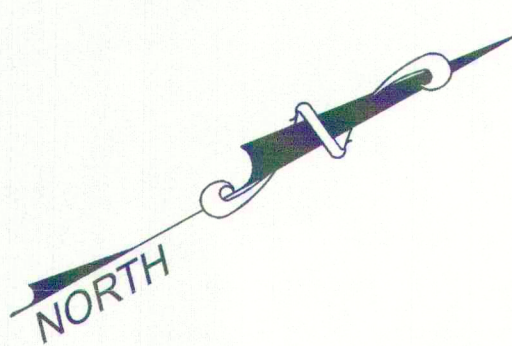


TREE

PROPOSED

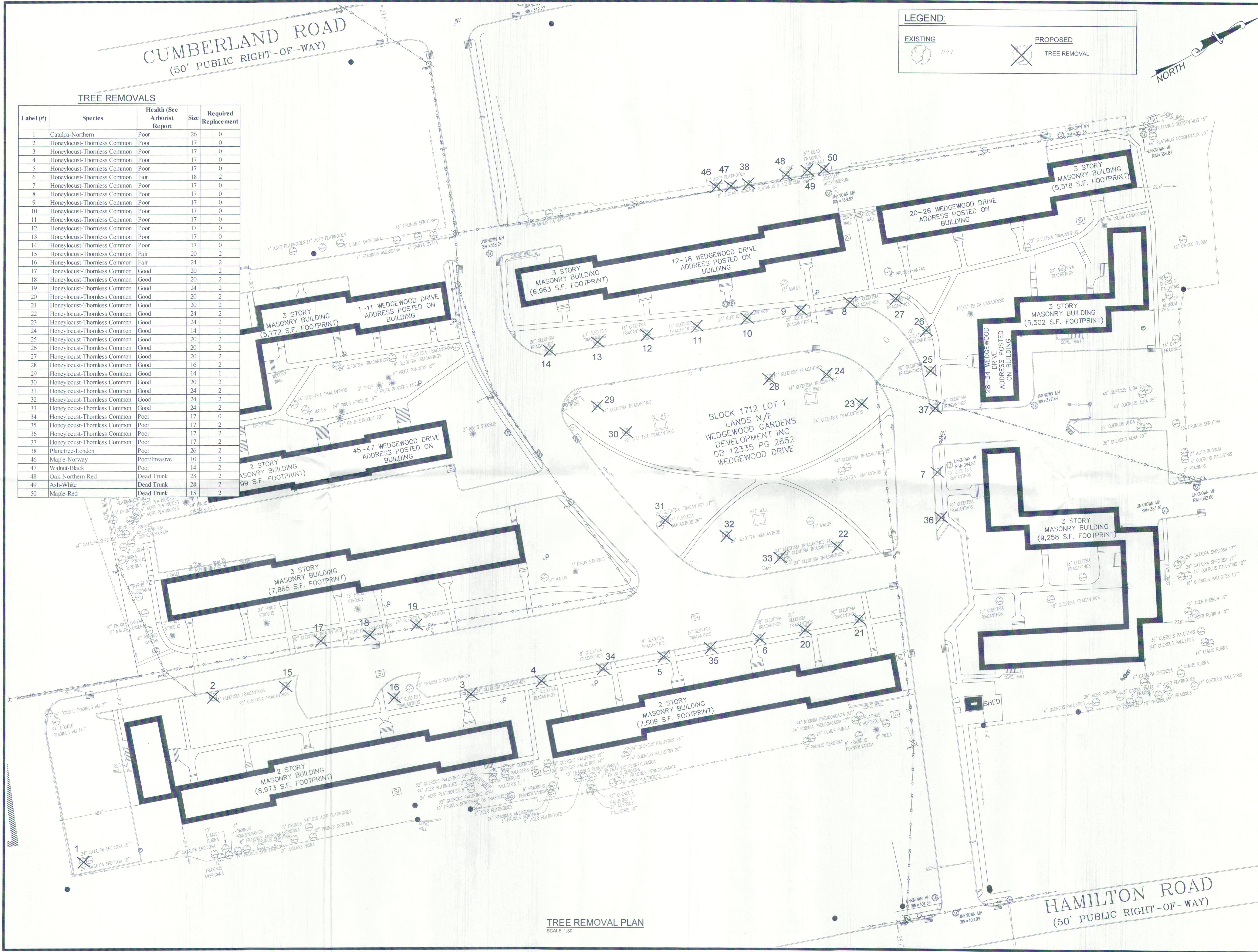


TREE REMOVAL



TREE REMOVALS

Label (#)	Species	Health (See Arborist Report)	Size	Required Replacement
1	Catalpa-Northern	Poor	26	0
2	Honeylocust-Thornless Common	Poor	17	0
3	Honeylocust-Thornless Common	Poor	17	0
4	Honeylocust-Thornless Common	Poor	17	0
5	Honeylocust-Thornless Common	Poor	17	0
6	Honeylocust-Thornless Common	Fair	18	2
7	Honeylocust-Thornless Common	Poor	17	0
8	Honeylocust-Thornless Common	Poor	17	0
9	Honeylocust-Thornless Common	Poor	17	0
10	Honeylocust-Thornless Common	Poor	17	0
11	Honeylocust-Thornless Common	Poor	17	0
12	Honeylocust-Thornless Common	Poor	17	0
13	Honeylocust-Thornless Common	Poor	17	0
14	Honeylocust-Thornless Common	Poor	17	0
15	Honeylocust-Thornless Common	Fair	20	2
16	Honeylocust-Thornless Common	Fair	24	2
17	Honeylocust-Thornless Common	Good	20	2
18	Honeylocust-Thornless Common	Good	20	2
19	Honeylocust-Thornless Common	Good	24	2
20	Honeylocust-Thornless Common	Good	20	2
21	Honeylocust-Thornless Common	Good	20	2
22	Honeylocust-Thornless Common	Good	24	2
23	Honeylocust-Thornless Common	Good	24	2
24	Honeylocust-Thornless Common	Good	14	1
25	Honeylocust-Thornless Common	Good	20	2
26	Honeylocust-Thornless Common	Good	20	2
27	Honeylocust-Thornless Common	Good	20	2
28	Honeylocust-Thornless Common	Good	16	2
29	Honeylocust-Thornless Common	Good	14	1
30	Honeylocust-Thornless Common	Good	20	2
31	Honeylocust-Thornless Common	Good	24	2
32	Honeylocust-Thornless Common	Good	24	2
33	Honeylocust-Thornless Common	Good	24	2
34	Honeylocust-Thornless Common	Poor	17	0
35	Honeylocust-Thornless Common	Poor	17	2
36	Honeylocust-Thornless Common	Poor	17	2
37	Honeylocust-Thornless Common	Poor	17	2
38	Plantree-London	Poor	26	2
46	Maple-Norway	Poor/Invasive	10	2
47	Walnut-Black	Poor	14	2
48	Oak-Northern Red	Dead Trunk	28	2
49	Ash-White	Dead Trunk	28	2
50	Maple-Red	Dead Trunk	15	2



TREE REMOVAL PLAN
SCALE: 1:30

Tree Removal Plan

Wedgewood Gardens CA
Tree Planting Plan
Verona, New Jersey



L-1

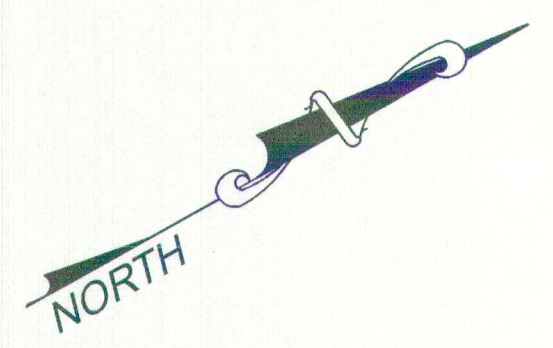
CUMBERLAND ROAD
(50' PUBLIC RIGHT-OF-WAY)

PLANT SCHEDULE

Qty	Latin Name	Common Name	Size	Comments
Deciduous Trees				
27	Acer rubrum 'Armstrong'	Armstrong Red Maple	2.5" Cal. B&B	Heavy, Symm
13	Quercus bicolor	Swamp White Oak	2.5" Cal. B&B	Heavy, Symm

LEGEND:

-  SWAMP WHITE OAK
-  ARMSTRONG RED MAPLE



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COA# 24GA28083800

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DESIGN IS SCHEMATIC, CONTRACTOR SHALL BE SOLELY RESPONSIBLE TO VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS.

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DRAFTED BY: DJD PROJECT #: 10-243-007

REVIEWED BY: DC SCALE: AS NOTED SHEET SIZE: 24"x36"

INIT.	NO.	DATE	ISSUED
DJD	1	11/14/24	COMPLETENESS REVIEW

INIT.	NO.	DATE	ISSUED

INIT.	NO.	DATE	ISSUED

CONSULTANT:
BENJAMIN ROSS HELLER
Landscape Architect
Ross Landscape Architecture
Lic. #: 21AS00124600
COA#: MH000157

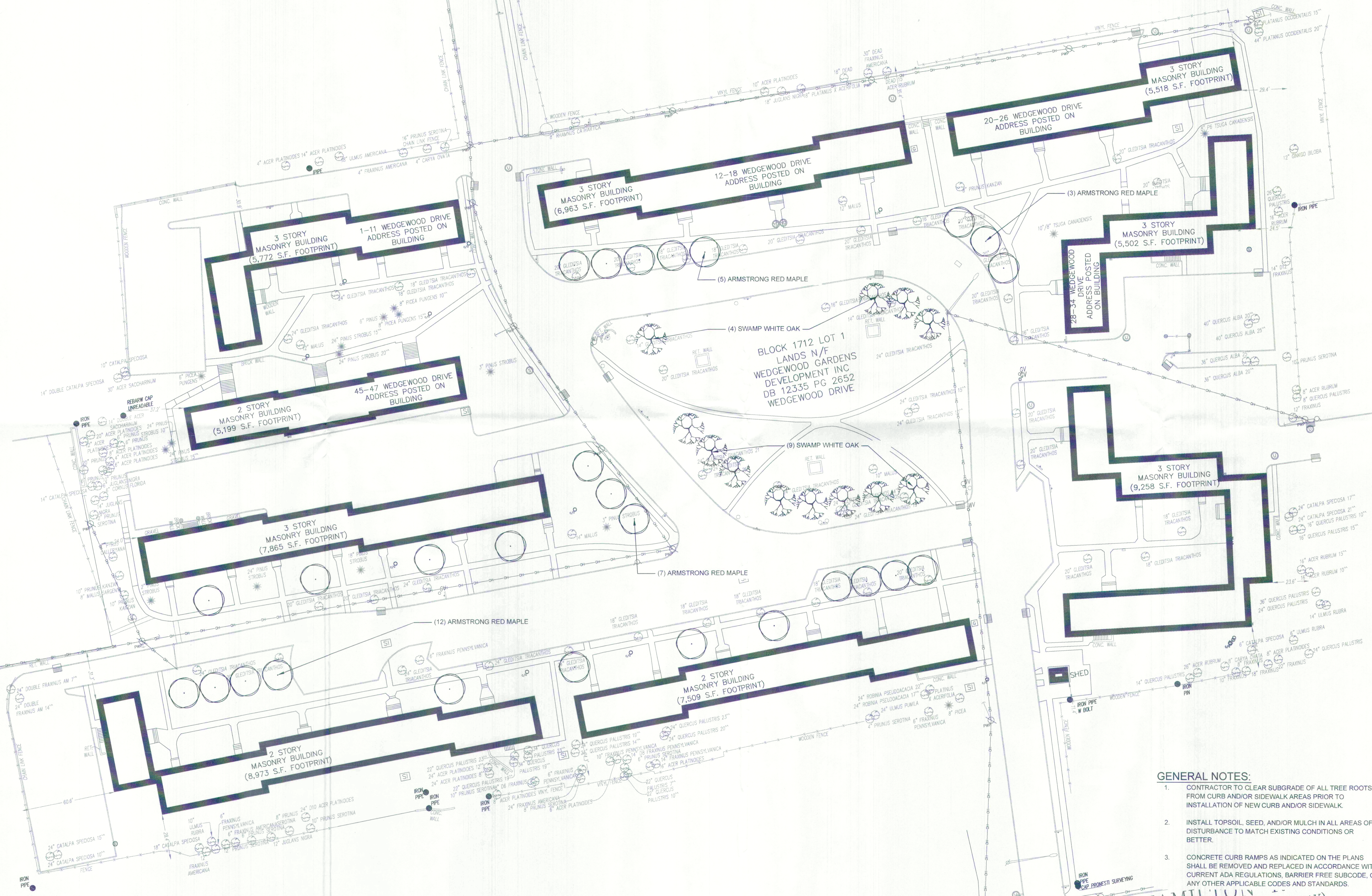
[Signature]

DENNIS DONATELLI
Professional Engineer NJ: #24GE05958100

Tree Replacement Plan
Wedgewood Gardens CA
Tree Planting Plan
Verona, New Jersey

L-2

SHEET 4 OF 5



TREE REPLACEMENT PLAN
SCALE: 1:30

GENERAL NOTES:

- CONTRACTOR TO CLEAR SUBGRADE OF ALL TREE ROOTS FROM CURB AND/OR SIDEWALK AREAS PRIOR TO INSTALLATION OF NEW CURB AND/OR SIDEWALK.
- INSTALL TOPSOIL, SEED, AND/OR MULCH IN ALL AREAS OF DISTURBANCE TO MATCH EXISTING CONDITIONS OR BETTER.
- CONCRETE CURB RAMP AS INDICATED ON THE PLANS SHALL BE REMOVED AND REPLACED IN ACCORDANCE WITH CURRENT ADA REGULATIONS, BARRIER FREE SUBGRADE, OR ANY OTHER APPLICABLE CODES AND STANDARDS.

HAMILTON
(50' PUBLIC RIGHT-OF-WAY)

U:\BERRY\2024\12\24\25\250022020.dwg 11/15/24 1:59:15 PM PLOT DATE: 11/15/24

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DRAFTED BY: DJD PROJECT #: 10-243-007

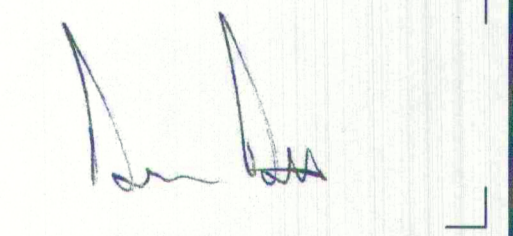
REVIEWED BY: DC SCALE: AS NOTED SHEET SIZE: 24"x36"

INIT. NO. DATE ISSUED
DJD 1 11/14/24 COMPLETENESS REVIEW

INIT. NO. DATE ISSUED

CONSULTANT: BENJAMIN ROSS HELLER

Landscape Architect
Root Landscape Architecture
Lic. #: 21AS00124600
COA#: MH000157



DENNIS DONATELLI
Professional Engineer NJ: #24GE05958100

Tree Planting Details

Wedgewood Gardens CA
Tree Planting Plan
Verona, New Jersey

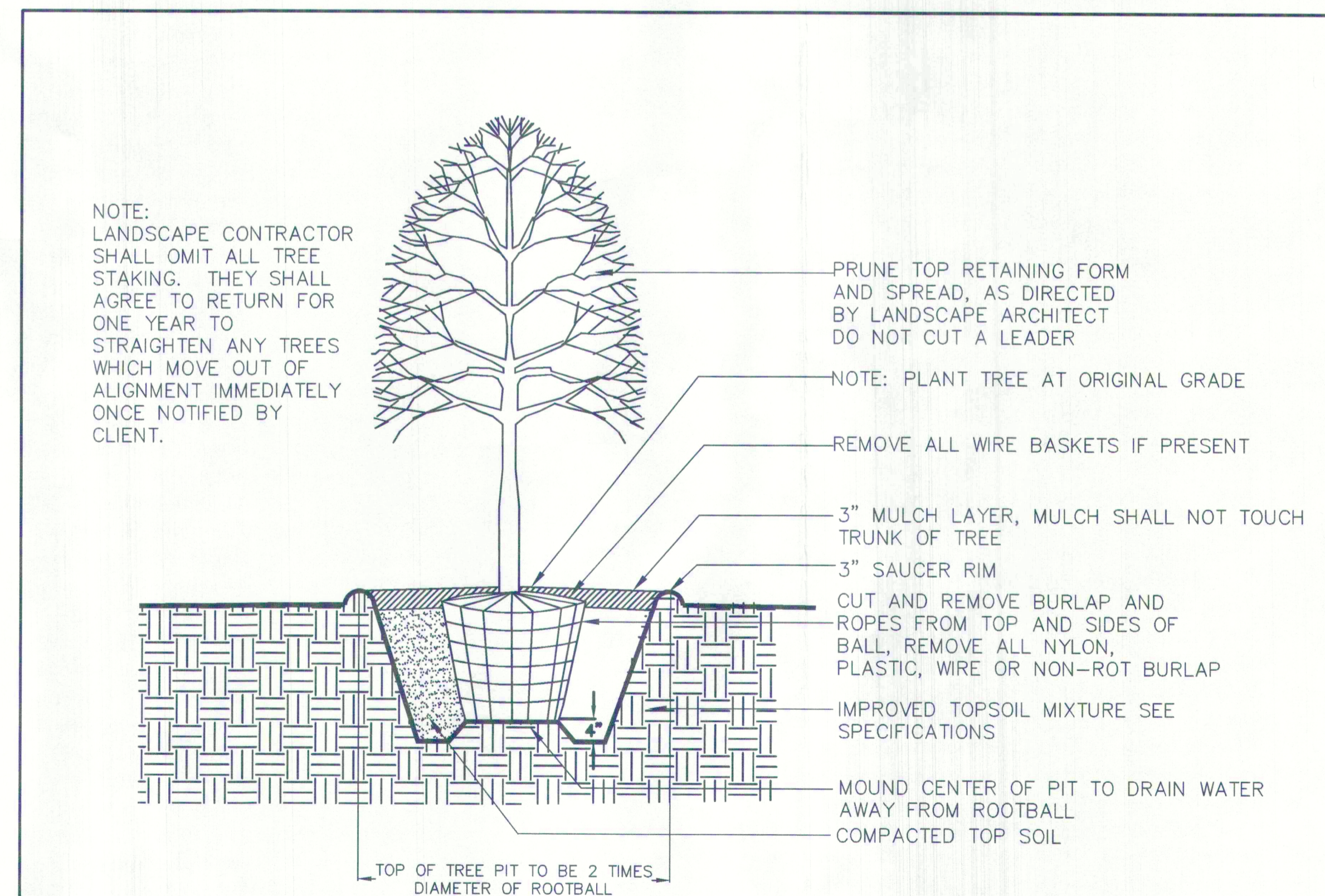
CD-1

EXISTING TREE LIST

Quantity on Property	Species	Size (in.)
3	Gleditsia Triacanthos	14
3	Gleditsia Triacanthos	16
10	Gleditsia Triacanthos	18
18	Gleditsia Triacanthos	20
15	Gleditsia Triacanthos	24
1	Pinus Strobus	2
2	Pinus Strobus	3
1	Pinus Strobus	6
1	Pinus Strobus	18
5	Pinus Strobus	24
1	Quercus Palustris	8
1	Quercus Palustris	14
2	Quercus Palustris	16
4	Quercus Palustris	22
6	Quercus Palustris	24
1	Quercus Palustris	26
2	Quercus Palustris	34
1	Quercus Palustris	36
2	Quercus Alba	36
2	Quercus Alba	40
2	Acer Platanoides	4
2	Acer Platanoides	6
3	Acer Platanoides	8
1	Acer Platanoides	10
1	Acer Platanoides	12
1	Acer Platanoides	16
1	Acer Platanoides	20
3	Acer Platanoides	24
1	Acer Rubrum	8
1	Acer Rubrum	15
3	Acer Rubrum	16
1	Acer Rubrum	26
1	Acer Saccarinum	30
1	Double Acer Saccarinum	14
1	Ginkgo Bilboa	12
2	Tsuga Canadensis	8
1	Platanus X Acerifolia	18
1	Platanus X Acerifolia	38
2	Platanus Occidentalis	26
2	Platanus Occidentalis	44
1	Carya Ovata	8
1	Picea	8
2	Robinia Pseudoacacia	24
1	Cornus Florida	6
1	Pyrus Calleryana	8
1	Carya Ovata	4
1	Rhamnus Cathartica	8
1	Prunus Serotina	4
1	Prunus Serotina	6
2	Prunus Serotina	8
3	Prunus Serotina	10
2	Prunus Serotina	12
1	Prunus Serotina	16
3	Prunus Kanzan	6
1	Prunus Kanzan	8
3	Prunus Kanzan	10
1	Prunus Kanzan	20
5	Fraxinus Pennsylvanica	6
2	Fraxinus Pennsylvanica	8
2	Fraxinus Pennsylvanica	10
1	Fraxinus Pennsylvanica	12
3	Fraxinus Pennsylvanica	14
1	Fraxinus Pennsylvanica	18
1	Fraxinus Pennsylvanica	22
1	Fraxinus Pennsylvanica	24
1	Fraxinus Americana	4
1	Fraxinus Americana	6
1	Fraxinus Americana	12
1	Fraxinus Americana	30
2	Double Fraxinus Americana	24
1	Malus Sargentii	8
1	Malus Sargentii	10
2	Malus Sargentii	12
1	Malus Sargentii	14
1	Juglans Nigra	6
1	Juglans Nigra	12
1	Juglans Nigra	14
1	Juglans Nigra	18
1	Catalpa Speciosa	6
1	Catalpa Speciosa	10
1	Catalpa Speciosa	14
1	Catalpa Speciosa	18
4	Catalpa Speciosa	24
1	Double Catalpa Speciosa	14
1	Picea Pungens	6
2	Picea Pungens	8
1	Ulmus Rubra	6
1	Ulmus Rubra	10
1	Ulmus Rubra	14
1	Ulmus Pumila	24
1	Ulmus Americana	18

DEAD AND/OR POOR TREE TABLE

Tree ID	DBH	Common Name	Scientific Name	Reason for removal
1	24"	Catalpa-Northern	Catalpa speciosa	Paving. Excavation too close to root zone for curbing replacement
2	24"	Honeylocust-Thornless Common	Gleditsia triacanthos	Paving. Excavation too close to root zone for curbing replacement
3	24"	Honeylocust-Thornless Common	Gleditsia triacanthos	Paving. Excavation too close to root zone for curbing replacement
4	24"	Honeylocust-Thornless Common	Gleditsia triacanthos	Paving. Excavation too close to root zone for curbing replacement
5	18"	Honeylocust-Thornless Common	Gleditsia triacanthos	Paving. Excavation too close to root zone for curbing replacement
7	20"	Honeylocust-Thornless Common	Gleditsia triacanthos	Paving. Excavation too close to root zone for curbing replacement
8	16"	Honeylocust-Thornless Common	Gleditsia triacanthos	Paving. Excavation too close to root zone for curbing replacement
9	20"	Honeylocust-Thornless Common	Gleditsia triacanthos	Paving. Excavation too close to root zone for curbing replacement
10	20"	Honeylocust-Thornless Common	Gleditsia triacanthos	Paving. Excavation too close to root zone for curbing replacement
11	18"	Honeylocust-Thornless Common	Gleditsia triacanthos	Paving. Excavation too close to root zone for curbing replacement
12	18"	Honeylocust-Thornless Common	Gleditsia triacanthos	Paving. Excavation too close to root zone for curbing replacement
13	20"	Honeylocust-Thornless Common	Gleditsia triacanthos	Paving. Excavation too close to root zone for curbing replacement
14	20"	Honeylocust-Thornless Common	Gleditsia triacanthos	Paving. Excavation too close to root zone for curbing replacement
34	18"	Honeylocust-Thornless Common	Gleditsia triacanthos	Paving. Excavation too close to root zone for curbing replacement
35	18"	Honeylocust-Thornless Common	Gleditsia triacanthos	Paving. Excavation too close to root zone for curbing replacement
36	20"	Honeylocust-Thornless Common	Gleditsia triacanthos	Paving. Excavation too close to root zone for curbing replacement
37	16"	Honeylocust-Thornless Common	Gleditsia triacanthos	Paving. Excavation too close to root zone for curbing replacement
38	18"	Planetree-London	Platanus acerifoli	Tree has been topped. It is in electrical wires. Excavation near root zone
46	10"	Maple-Norway	Acer platanoides	Tree has decay on lower trunk. Invasive tree. Excavation too close to root zone.
47	18"	Walnut-Black	Juglans nigra	Tree has been topped. It is in electrical wires. Excavation near root zone
48	18"	Oak-Northern Red	Quercus rubra	Dead trunk. Excavation near base
49	30"	Ash-White	Fraxinus americana	Dead trunk. Excavation near base
50	15"	Maple-Red	Acer rubrum	Dead trunk. Excavation near base



1 TREE PLANTING DETAIL (TYP.)

December 18, 2024

Kathleen Miesch, Zoning
Zoning Official /Land Use Administrator
Township of Verona
600 Bloomfield Avenue
Verona, New Jersey 07044

Re: Wedgewood Gardens Condominium Association
Tree Removal and Permit Application
Block 1712, Lot 1
Township of Verona
Our File No. VAES-202

Dear Ms. Miesch:

We have received copies of the following documents relative to the above referenced Tree Removal Permit:

- a. Tree Removal Permit Application for Wedgewood Gardens Condominium Association Tree Replacement Plan, Verona New Jersey, submitted by Bartlett Tree Experts dated 12/2/24.

Based on our review of the above referenced application, we offer the following comments:

1. The Applicant seeks approval to remove 28 trees that have been assessed to be dead or diseased.
2. As per Section 493-28 B, dead trees do not require replacement.
3. However, the trees proposed to be removed may have been planted in accordance with the landscape plan which was part of the approval for the original development of Wedgewood Gardens. Wedgewood Gardens Condominium Association should provide the original approved site landscaping plan to your office to ascertain if the proposed trees to be removed are part of the original approved landscape plan. If the trees are part of the approved landscape plan, they are to be replaced to be in conformance with the approved landscape plan for the site.
4. The office takes no exception to the tree removal last as submitted by Bartlett tree. However, the Township should reserve the right to require tree replacement if these trees were included on the original approved site plan for Wedgewood Gardens.

Thank you for your kind attention to this matter. Should you have any questions or require additional information, please do not hesitate to contact me.



Very truly yours,

A handwritten signature in blue ink, appearing to read 'Peter C. Ten Kate', with a large, loopy initial 'P'.

Peter C. Ten Kate, P.E.

PCTK/rs

Cc: Tom Jacobsen, Construction Code Official
Wedgewood Gardens CA c/o Armen Tagmizyan, Cedar Crest Project Management